

50-22. Building Type Standards

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Definitions to be included in UDC:

These definitions will move to Article 6. Definitions in the UDC.

1. Base Type. The permitted treatment types of the Ground Floor street Façade of a structure.
2. Building Type. A structure defined by the combination of configuration, form, and function.
3. Build-to Zone (BTZ). An area in which the designated Façade of a building shall be placed; it may or may not be located directly adjacent to a property line. The zone dictates the minimum and maximum distance a structure may be placed from a property line.
4. Cap Type. The detail at the top of a building that finishes a Façade, including, but not limited to, a pitched roof with various permitted slopes, parapet screening the roof structure, and tower.
5. Expression Line. A decorative, three-dimensional, linear element, horizontal or vertical, protruding or indented at least one (1) inch from the exterior Façade of a building. This element typically delineates the floors or stories of a building.
6. Façade. The exterior face of a building, including, but not limited to, the wall, windows, window sills, doorways, and elements such as Expression Lines, cornices, and parapets. The Front Façade is defined as any building face adjacent to the Front Property Line.
7. Front Property Line. The boundary abutting a public right-of-way of a Primary Street, other than an alley, from which the required setback or Build-to Zone is measured.
8. Ground Floor. Also called ground story. The first floor of a building that is level to or slightly elevated above the sidewalk, excluding basements and cellars.
9. Landscape Area. Lot area primarily dedicated to landscape materials, such as annual plantings, perennial plantings, shrubs, groundcover, grass, or trees. A portion of the area may include hardscape materials for pedestrian use or access to the building or Landscape Area, such as patios or sidewalks.
10. Occupied Space. Interior building space regularly occupied by the building users. Does not include storage or utility space.
11. Primary Street. A pedestrian-oriented street in commercial areas with buildings constructed within a Build-to Zone resulting in little to no front setback and continuous, uninterrupted streetwall with few or no interruptions of driveways. In the Form Districts, the Primary Street is noted on the Zoning Map and the Front Property Line is always located on the Primary Street.
12. Principal Entrance. The main or primary point of access for pedestrians into a building, typically located on the front and/or corner Façade.
13. Secondary Street. Typically perpendicular to Primary Streets, Secondary Streets have less continuity of streetwall and more interruptions of the sidewalk with driveways and garage access. In the Form Districts, all streets not designated as Primary Streets on the Zoning Map are considered Secondary Streets.
14. Story. A habitable level within the building, typically measured from finished floor to finished floor.
15. Transparency. The amount of clear, non-reflective windows with high visible light transmittance, including their structure, on the Façade of the building.
16. Visible Basement. Visible Basements occur when the ceiling of the basement is located a minimum of two (2) feet and a maximum of four and a half (4 ½) feet above the average finished grade of the front or corner Façade.

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50-22.1. General Requirements.

- A. **Intent.** The Building Types detailed in this section outline the desired building forms for new construction and renovated structures within the Form Districts of the City.
- B. **Applicability.** Refer to Administration for additional information on Nonconforming Structures.
1. All Building Type Standards apply to all new construction and renovation of existing structures, where the renovation includes an addition of more than X% (*to be determined in Module 4: Administration and Procedures*) in building square footage.
 2. When a renovation of the front facade occurs with no added building square footage, the Street Facade Requirements and Base Type Requirements must be met when (a) the existing building front, corner, or lakefront facade is located within the Build to Zone and (b) the renovation includes any of the following: (i) installation of additional doors or a change in location of a door; (ii) expansion or change in location of thirty (30) percent of windows on any street or lakefront facade; or (iii) replacement of thirty (30) percent or more of facade materials on any street or lakefront facade with a different facade material.
 3. When a renovation of the shape or style of the roof occurs with no added building square footage, the Cap Type Requirements must be met when the existing building front, corner, or lakefront facade is located within the Build-to Zone.
 4. Under all circumstances, no portion of the Building Type Standards must be met in the case of normal repairs required for safety and continued use of the structure, such as replacement of window or door glass.
- C. **General Requirements.** All Building Types must meet the following requirements.
1. **Zoning Districts.** Each Building Type shall be constructed only within its designated districts. Table 50-22.1(A). Permitted Building Types in Each Zoning District outlines which Building Types are permitted in which Zoning Districts. Refer to Chapter 2. Zoning Districts for more information.
 2. **Uses.** Each Building Type can house a variety of uses depending on the district in which it is located. Refer to Chapter 3. Permitted Uses for permitted uses by district.
 3. **Site Plan Review Required.** Development of any Building Type must be reviewed and approved by the City. Refer to 50-22 Administration and Procedures (*to be drafted in Module 4*) for more information.
 4. **No Other Building Types.** All buildings constructed must meet requirements of one of the Building Types permitted within the Zoning District of the Lot.
 5. **Permanent Structures.** All buildings constructed must be permanent construction without a chassis, hitch, or wheels, or other features that would make the structure mobile. For permitted temporary structures, refer to X.X. (*to be drafted in Module 3*)
 6. **Accessory Structures.** Permitted accessory structures are defined in Section XX. (*to be drafted in Module 3*)

50-22.2. General Building Type Descriptions.

The following section generally describes the permitted Building Types detailed in this section. Summaries of the Building Types may be found in Table 50-22.2(A) Building Type Summary Table.

Four major categories of Building Types are utilized in this section: Main Street Building, Corridor Building, Cottage Commercial Building, and Iconic Building. The Building Types proposed for the Form Districts include three variations of the Main Street Building, three variations of the Corridor Building, two variations of the Cottage Commercial Building, and one version of the Iconic Building. The Building Type variations go from least intense (Type I) to most intense (Type III); for example, Main Street Building I is used in the least intensive areas, such as Lakeside/Lester Park and London Road; Main Street Building III is used in the most intensive area, Downtown; and Main Street Building II covers those areas of moderate development intensity.

Main Street Buildings, in general, are pedestrian-oriented, mixed-use buildings. This Building Type typically has a storefront on the ground floor with offices or residential uses on the upper floors. The ground floor of the Main Street Building has a high amount of Transparency, so that pedestrians

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walking by can look into the interior space. Corridor Buildings are primarily meant to house office or multifamily residential uses, with less Transparency required on the ground floor. The Cottage Commercial Building is primarily commercial in nature but, unlike the Main Street Building, it is similar in form to single-family residential areas, providing transitions between commercial and residential areas. While the previously mentioned Building Types are intended to serve as the fabric buildings of the city, the Iconic Building is a unique civic or institutional building that has distinctive character and function within the community.

- A. **Main Street Building I.** This Building Type allows for service, retail, and office uses on the ground floor and office or residential above. It is appropriate for commercial uses adjacent to residential neighborhoods, as the intensity of this Building Type is not as high as the other Main Street Building Types. It has a larger Build-to Zone from 0' to 15' and a maximum height of two and half or three stories depending on location.
- B. **Main Street Building II.** Main Street Building II is slightly more intense than Main Street Building I, as it is required to be built up to the right-of-way and may be up to four stories tall. This Building Type also permits service, retail, and office uses on the ground floor and office or residential on upper floors.
- C. **Main Street Building III.** Main Street Building III is the most intense of the Main Street Building Types, as it is meant to be used in the Downtown Duluth area. It is located directly adjacent to the sidewalk and should include retail or service uses on the ground floor whenever possible. Main Street Building III has a maximum height of fifteen stories in limited locations.
- D. **Corridor Building I.** This Building Type can house a single category of uses, such as office or residential, or a mix of uses. Corridor Building I is the least intensive Corridor Building, located in the more neighborhood oriented study area locations. It has a larger Build-to Zone that is set back farther than the other Corridor Buildings, and is permitted to be a maximum of three stories.
- E. **Corridor Building II.** Corridor Building II is an intermediary Building Type between the more neighborhood scale locations and the intensity of Downtown. It is similar to Corridor Building I in many ways, but is permitted to be built up to the sidewalk and may also be taller, with a maximum height of four stories.
- F. **Lakefront Corridor Building.** The Lakefront Corridor Building is a variation on Corridor Building II that was created for use along Lake Superior in Canal Park. These buildings front the lake, but also require some level of frontage on Canal Park Drive. The maximum height is four stories.
- G. **Corridor Building III.** Corridor Building III was created for use in Downtown Duluth. It is required to be built adjacent to the sidewalk and has a maximum height of fifteen stories in specified locations. While the Corridor Building Types are meant to house primarily office and residential uses, commercial uses are also permitted to create a vibrant commercial core for Downtown.
- H. **Cottage Commercial I.** The Cottage Commercial Building Type is residential in character but commercial in use. At a maximum height of two and a half stories, it is meant to blend in with a surrounding residential neighborhood while at the same time providing neighborhood-scale commercial uses. Cottage Commercial I is for use as a transition to residential locations, with a larger Build-to Zone and permitted side aisle of parking. Cottage Commercial I may also include multiple principal structures on one lot, provided that each building meets the requirements of the Building Type.
- I. **Cottage Commercial II.** Cottage Commercial II is similar to Cottage Commercial I but is used in the West Duluth study area, which is a more intense context. This Building Type may be built

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to the front property line and must locate parking in the rear.

- J. **Iconic Building.** The Iconic Building Type is a unique Building Type meant to house community, cultural, civic, educational, or governmental uses. The Iconic Building has more flexible requirements for building location and transparency than the other non-residential Building Types due to its unique nature.

		Building Types										Areas
		Main Street Building I	Main Street Building II	Main Street Building III	Corridor Building I	Corridor Building II	Lakefront Corridor Building	Corridor Building III	Cottage Commercial I	Cottage Commercial II	Iconic Building	
Districts	F1: Low-Rise Neighborhood Shopping	●										East Superior
	F2: Low-Rise Neighborhood Mix	●			●				●		●	East Superior, London Road
	F3: Mid-Rise Community Shopping		●									West Duluth, Canal Park
	F4: Mid-Rise Community Mix		●			●				●	●	West Duluth
	F5: Mid-Rise Community Shopping/Office		●			●					●	West Superior, Canal Park
	F6: Mid-Rise Neighborhood Shopping		●						●		●	Central Hillside
	F7: Downtown Shopping			●								Downtown
	F8: Downtown Mix			●				●			●	Downtown
	F9: Canal Park						●					Canal Park

● Building Type permitted

Table 50-22.1(A). Permitted Building Types by Zoning District Summary Table.

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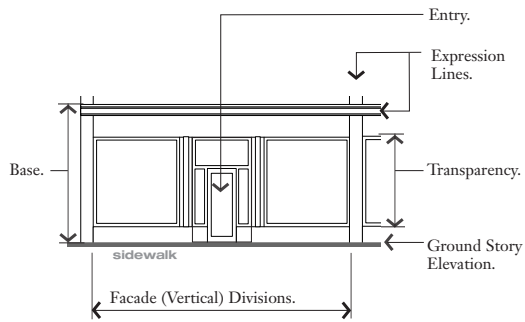


Figure 50-22.3(B). Storefront Base Type

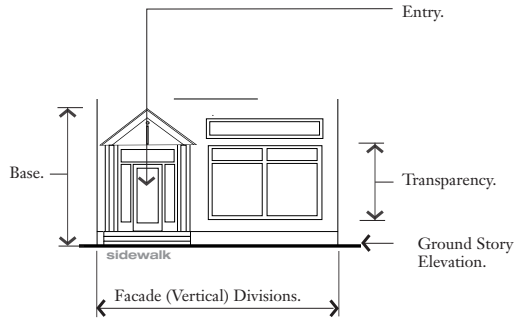


Figure 50-22.3(C). Shopfront Base Type.

50-22.3. Base Types.

Base Type standards apply to the ground story and visible basement of front Facades of all Building Types as defined in this Section. To determine which Base Type(s) are permitted for each Building Type, refer to the Building Types-specific information found in Sections 50-22.7 through 50-22.16.

- A. **General Provisions.** The following provisions apply to all Base Types.
1. **Intent.** To guide the design of the ground story of all buildings to relate appropriately to pedestrians on the street. Treatment of other portions of the building Facades is detailed in each Building Type standard (refer to 50-22.7 through 50-22.16).
 2. **Applicability.** The entire ground story front Facade of all buildings must meet the requirements of one (1) of the permitted Base Types, unless otherwise stated in this Section.
 3. **Measuring Transparency.** Refer to 50-22.5(D)(1) for information on measuring building Transparency.
 4. **Visible Basements.** Visible basements, permitted by Base Type, are optional.
 5. **Expression Lines.** For the purposes of this Section, expression lines are an architectural feature comprised of a decorative, three (3) dimensional, linear element, horizontal or vertical, protruding or indented at least one (1) inches from the exterior façade of a building. It is typically used to delineate the floors or stories of a building.
- B. **Storefront Base Type.** (Refer to Figure 50-22.3(B)). The Storefront Base Type is a highly transparent ground story treatment designed to serve as the display area and primary entrance for retail or service uses.
1. **Transparency.** A minimum of seventy-five (75) percent of the front Facade between two (2) and eight (8) feet above the sidewalk must be comprised of transparent, non-reflective windows into the commercial space.
 - a. A minimum of twenty-five (25) percent of the windows shall have views directly into and out of the ground floor occupied space.
 2. **Elevation.** Ground story elevation must be less than or equal to one (1) foot above sidewalk.
 3. **Visible Basement.** A visible basement is not permitted.
 4. **Facade Divisions.** Expression Lines shall divide the Facade into segments.
 - a. Vertically divide the base Facade into segments no greater than thirty (30) feet in width.
 - b. Horizontally define the base Facade from the upper stories.
 5. **Entrance.** All entries shall be recessed from the front Facade closest to the street.
 - a. Recess shall be a minimum of three (3) feet and a maximum of eight (8) feet deep, measured from the portion of the front Facade closest to the street.
 - b. When the recess falls behind the front Build-to Zone, the recess shall be no wider than eight (8) feet.
- C. **Shopfront Base Type.** (Refer to Figure 50-22.3(C)). The Shopfront Base Type treatment includes less transparency than the storefront, while still allowing views in and out of the commercial space, and an entrance off of a porch or stoop.

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1. Transparency. A minimum of fifty (50) percent of the front Facade between three (3) and nine (9) feet above the sidewalk must be comprised of transparent, non-reflective windows into the commercial space.
2. Elevation. Ground story elevation must be between zero (0) and three (3) feet above sidewalk, with or without optional visible basement.
3. Visible Basement. A visible basement is permitted.
4. Vertical Facade Divisions. For buildings wider than fifty (50) feet, divide base Facade into segments no greater than fifty (50) feet in width with an Expression Line.
5. Entrance. Porch or stoop entrance required.

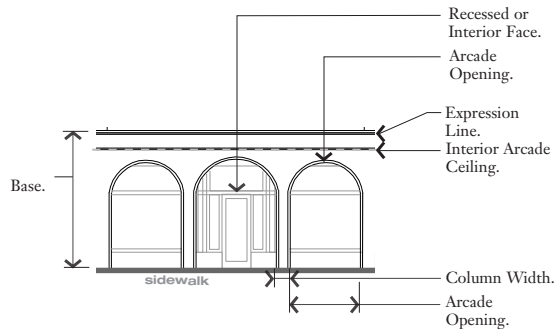


Figure 50-22.3(D). Arcade Base Type.

D. Arcade Base Type. (Refer to Figure 50-22.3(D)). An Arcade Base Type is a covered pedestrian walkway within the recess of a ground story.

1. Arcade. An open-air public walkway is required from the face of the building recessed into the building a minimum of eight (8) and a maximum of fifteen (15) feet.
2. Recessed or Interior Facade. Storefront or Shopfront Base Types are required on the recessed ground story Facade.
3. Column Spacing. Columns shall be spaced between ten (10) feet and twelve (12) feet on center.
4. Column Width. Columns shall be a minimum of 1'-8" and a maximum 2'-4" in width.
5. Arcade Opening. Opening may not be flush with interior arcade ceiling and may be arched or straight.
6. Horizontal Facade Division. Horizontally define the base Facade from the upper stories.
7. Visible Basement. A visible basement is not permitted.

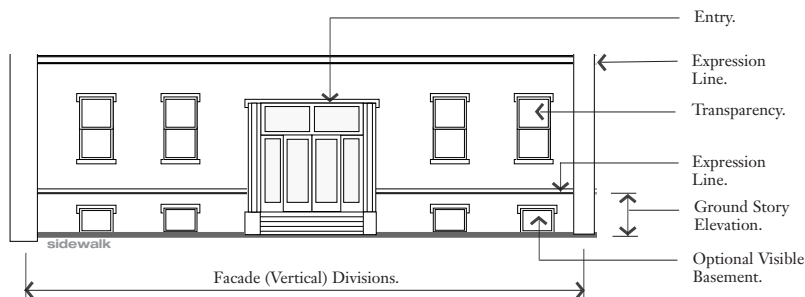


Figure 50-22.3(E). Stoop Base Type.

E. Stoop Base Type. (Refer to Figure 50-22.3(E)). A stoop is an unroofed, open platform.

1. Transparency. Minimum Transparency per Building Type is required.
2. Stoop Size. Stoops shall be a minimum of three (3) feet deep and four (4) feet wide.
3. Elevation. Ground story elevation must be located a maximum of 2'-6" above the sidewalk

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- without visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.
- 4. Visible Basement. A visible basement is permitted.
- 5. Facade Divisions. Expression Lines shall divide Facade segments.
 - a. Vertically divide the base Facade into segments no greater than one hundred (100) feet in width.
 - b. Horizontally define the base Facade from upper stories.
- 6. Entrance. All entries shall be located off a stoop.

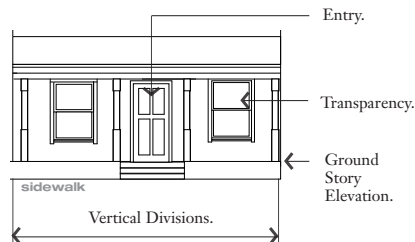


Figure 50-22.3(F). Porch Base Type.

- F. **Porch Base Type.** (Refer to Figure 50-22.3(F)). A porch is a raised, roofed platform that may or may not be enclosed on all sides.
 - 1. Transparency.
 - a. Minimum Transparency per Building Type is required.
 - b. If enclosed, a minimum of forty (40) percent of the enclosed porch must be comprised of transparent, non-reflective windows.
 - 2. Porch Size. The porch shall be a minimum of (5) feet deep and (8) feet wide.
 - 3. Elevation. Ground story elevation must be located a maximum of 2'-6" above the sidewalk without visible basement, and a maximum of 4'-6" above the sidewalk with a visible basement.
 - 4. Visible Basement. A visible basement is permitted.
 - 5. Facade Divisions. Use Expression Lines to divide Facade segments.
 - a. Vertically divide base Facade into segments no greater than sixty (60) feet in width.
 - b. Horizontally define the base Facade from upper stories.
 - 6. Height. Porch may be two (2) stories to provide a balcony on the second floor.
 - 7. Entrance. All entries shall be located off a porch.

50-22.4. Cap Types.

Cap Type standards apply to the cap of all Building Types as required in this Section.

- A. **General Provisions.** The following provisions apply to all Cap Types.
 - 1. Intent. To guide the design of building caps in order to ensure an appropriate and aesthetically pleasing cap for all buildings.
 - 2. Applicability. All buildings must meet the requirements of one of the Cap Types permitted for the Building Type.
 - 3. Measuring Height. Refer to XX for information on measuring building height.
 - 4. Other Cap Types. The Iconic Building Type may seek to incorporate other building caps not listed as a specific type by applying for a [special exception] with the following requirements:
 - a. The height may not exceed any of the Cap Types permitted for the Building Type.
 - b. The [special exception] shall be approved per 50-22.X. *(to be coordinated with Module 4: Administration and Procedures section)*

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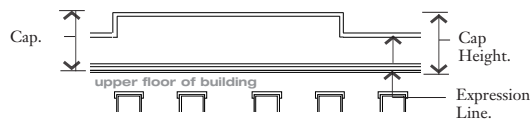


Figure 50-22.4(B). Parapet Cap Type.

- B. Parapet Cap Type.** (Refer to Figure 50-22.4(B)). A parapet is a low wall projecting above a building's roof along the perimeter of the building. It can be utilized with a flat or pitched roof and also serves to limit the view of roof-top mechanics from the street.
1. **Parapet Height.** Height is measured from the top of the upper story to the top of the parapet.
 - a. Minimum height is two (2) feet with a maximum height of six (6) feet.
 - b. Cap shall be high enough to screen the roof and any roof appurtenances from view of the street(s) and any adjacent building of similar height.
 2. **Horizontal Expression Lines.** An Expression Line shall define the cap from the upper stories of the building and shall also define the top of the cap.
 3. **Occupied Space.** Occupied space may not be incorporated behind this Cap Type.

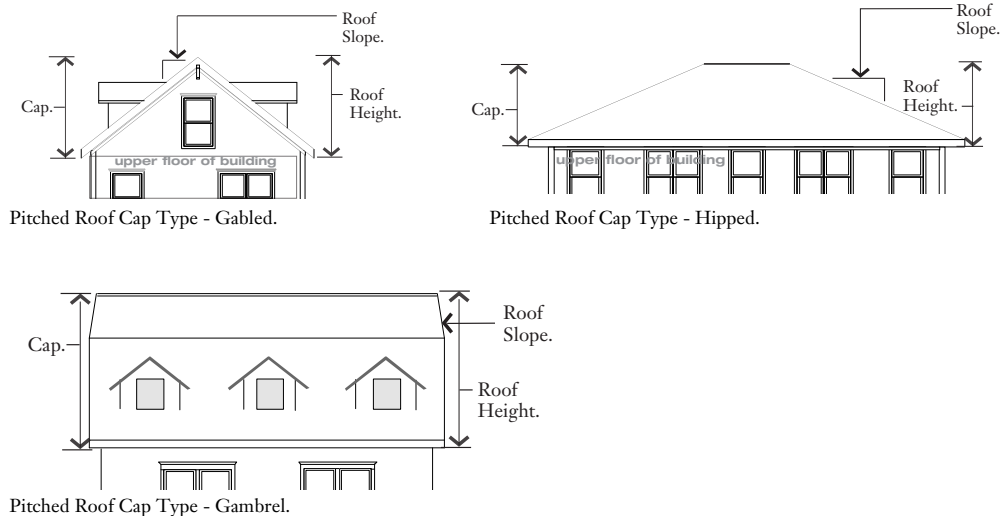


Figure 50-22.4(C). Pitched Roof.

- C. Pitched Roof Cap Type.** (Refer to Figure 50-22.4(C)). This Cap Type has a sloped or pitched roof. Slope is measured with the vertical rise divided by the horizontal span or run.
1. **Pitch Measure.** The roof may not be sloped less than a 6:12 (rise:run) or more than 16:12.
 2. **Roof Types.** Hipped, gabled, and combination of hips and gables with or without dormers are acceptable. Gambrel and mansard roofs are acceptable provided that when the ridge runs parallel to the street, one (1) dormer per fifteen (15) feet of street face is required.
 3. **Parallel Ridge Line.** A gabled end or perpendicular ridge line shall occur at least every one hundred (100) feet of roof for two-story buildings or higher and at least every fifty (50) feet of roof for one-story buildings when the ridge line runs parallel to the front property line.
 4. **Roof Height.** Roof height may not be greater than the total of all floors below the roof. For single story sections of the building, roof height may not exceed one and half (1.5) times the floor below the roof.

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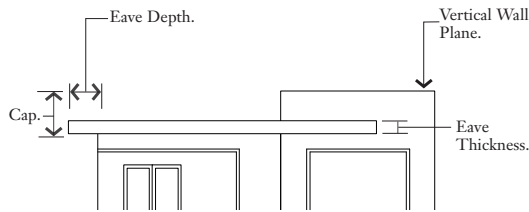


Figure 50-22.4(D). Flat Roof.

D. Flat Roof Cap Type. (Refer to Figure 50-22.4(D)). This Cap Type has a flat roof with overhanging eaves.

1. **Roof Types.** Roofs with no visible slope are acceptable. Eaves are required on all street-facing Facades.
2. **Eave Depth.** Eave depth is measured from the building façade to the outside edge of the eave. Eaves shall have a depth of at least twelve (12) inches.
3. **Eave Thickness.** Eave thickness is measured at the outside edge of the eave, from the bottom of the eave to the top of the eave. Eaves shall be a minimum of six (6) inches thick.
4. **Interrupting Vertical Walls.** Vertical walls may interrupt the eave and extend above the top of the eave with no discernible cap.
 - a. No more than one-half (1/2) of the front façade can consist of an interrupting vertical wall.
 - b. Vertical walls shall extend no more than four (4) feet above the top of the eave.

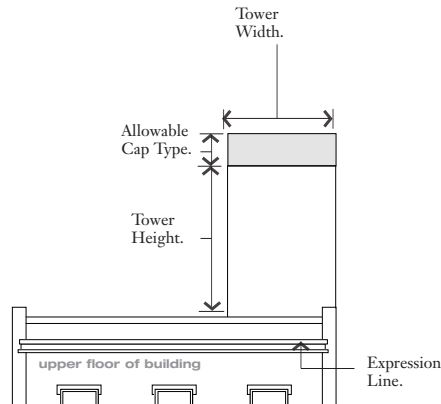


Figure 50-22.4(E). Tower.

E. Towers. (Refer to Figure 50-22.4(E)). A Tower is a rectilinear or cylindrical vertical element that must be used with other Cap Types.

1. **Quantity.** One (1) Tower is permitted per building.
2. **Tower Height.** Maximum height, measured from the top of the upper story to the top of the tower, is the equivalent of the height of one (1) upper floor of the building to which the Tower is applied.
3. **Tower Width.** Maximum width along all Facades is one-third (1/3) the width of the front Facade or thirty (30) feet, whichever is less.
4. **Occupied Space.** Towers must be occupied by the same uses allowed in upper stories of the Building Type to which it is applied.
5. **Tower Cap.** The tower may be capped by the Parapet, Pitched, or Flat Roof Cap Types.

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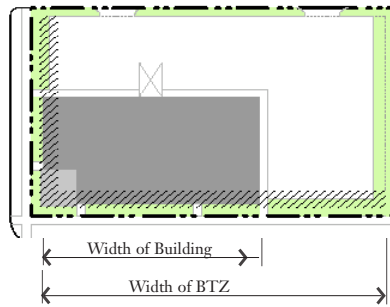


Figure 50-22.5 (A). Measuring BTZ Coverage.

50-22.5. Explanation of Table Requirements.

The following explains and defines the requirements included in the tables for each Building Type, Sections 50-22.7 through 50-22.16, and summarized for all Building Types, Table 50-22.2(A).

A. Building Siting.

1. Street Frontage.
 - a. Multiple Principal Buildings Permitted on a Lot. The presence of more than one principal structure on a lot.
 - b. Front BTZ or Setback. The Build-to Zone or setback parallel to the front property line. All BTZ and setback areas not covered by building must contain either landscaping, patio space, or sidewalk space. Build-to Zones define the minimum and maximum distance a structure may be placed from a property line.
 - c. Corner BTZ or Setback. The Build-to Zone or setback parallel to the corner property line. All BTZ and setback areas not covered by building must contain Landscape Area.
 - d. Minimum Coverage of Front Build-to Zone. Measurement defining the minimum percentage of street wall or building Facade required along the street. The width of the principal structure(s) (as measured within the front Build-to Zone) shall be divided by the maximum width of the front Build-to Zone (BTZ). Refer to Figure 50-22.5(A).
 - e. Occupation of Corner. Occupying the intersection of the front and corner Build-to Zones with a principal structure.
2. Side and Rear Setbacks.
 - a. Minimum Side Yard Setback. The minimum required setback along a side property line. All side yard setback areas not covered by building must contain Landscape Area.
 - b. Minimum Rear Yard Setback. The minimum required setback along a rear property line.
3. Buildable Area.
 - a. Minimum Landscape Area. The minimum percentage of a lot that must be primarily dedicated to landscape materials, such as planting beds, grass, or shrubs. A portion of the area may include hardscape materials for pedestrian use or access to the area or building, such as patio or sidewalk.
 - b. Minimum Lot Width. The minimum width of a lot, measured at the front property line.
4. Parking and Access.
 - a. Location of Parking Facilities. The yard in which a parking lot and associated drive is permitted.
 - b. Loading Facility Location. The Facade of the building on which access is permitted for loading and unloading activities related to building uses.
 - c. Number of Permitted Driveways. Defines the circumstances under which a driveway is permitted on a lot.

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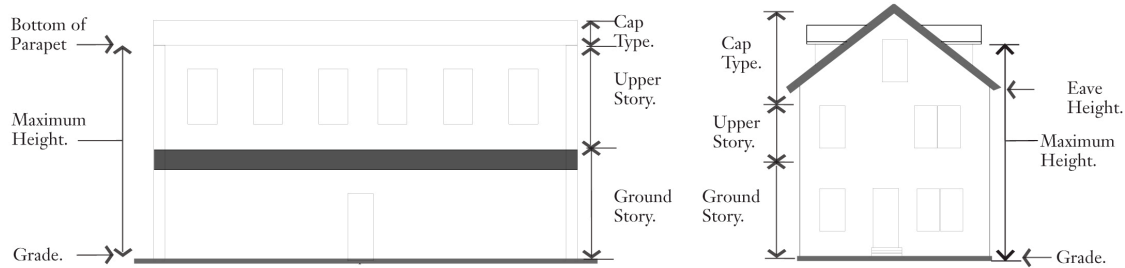


Figure 50-22.5(B). Measuring Height.

B. Height.

1. Minimum and Maximum Overall Height. (Refer to Figure 50-22.5(B) Measuring Height). A required minimum and maximum overall height is provided for all Building Types and is measured as follows:
 - a. Height in Stories. The sum of a building's Stories.
 - (1) Half Stories are located either completely within the roof structure or in a Visible Basement exposed a maximum of one (1) half story above average finished grade.
 - (2) Some Building Types require a building Facade to step back as its height increases. If required, the Upper Stories of any building Facade with street frontage shall be setback a designated amount beyond the building Facade of the Lower Stories.
 - b. Height in Feet. Measured as follows:
 - (1) Parapet Cap Type. Overall height is measured from the average finished grade of the building's front Facade to the highest point of the parapet.
 - (2) Pitched Cap Type. Overall height is measured from the average finished grade of the building's front Facade to the midpoint of the highest roof slope.
 - (3) Flat Roof Cap Type. Overall height is measured from the average finished grade of the building's front Facade to the top of the highest eave.
 - (4) Chimneys, antennae, and other similar appurtenances may exceed the overall building height by no more than twenty-five (25) feet.
 - (5) Towers. Maximum height, measured from the top of the upper story to the top of the tower, is the equivalent of the height of one (1) upper floor of the building to which the Tower is applied. This additional floor does not count toward the overall height of the building. Refer to Section 50-22.4 (E).
2. Ground Story and Upper Story Minimum and Maximum Height. (Refer to Figure 50-22.5(B) Measuring Height). Each Building Type includes a permitted range of height in feet for each story, which is measured as follows:
 - a. Floor height is measured in feet from the floor of a story to the floor of the story above it.
 - b. For single story buildings and the uppermost story of a multiple story building, floor to floor height shall be measured from the floor of the story to the tallest point of the ceiling.

C. Uses.

1. Ground Story. The uses that may occupy the ground story of a building. Refer to Chapter 3. Permitted Uses.
2. Upper Story. The uses that may occupy the upper stories of a building. Refer to Chapter 3. Permitted Uses.
3. Parking Within Building. The area(s) of a building in which parking is permitted within the structure.
4. Occupied Space. The area(s) of a building that must be occupied by the users on a regular basis.

50-22. Building Type Standards

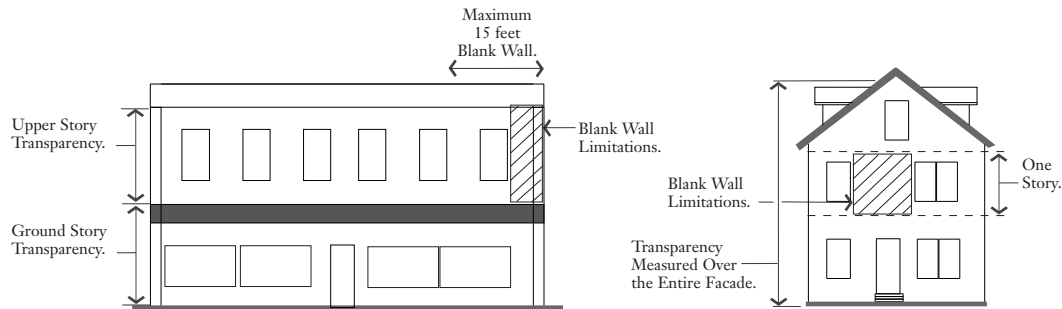


Figure 50-22.5(D). Measuring Transparency.

D. Facade Requirements.

1. Transparency. Measurement of the percentage of a facade that has clear, non-reflective windows. Refer to Figure 50-22.5(D).
 - a. Minimum Transparency. The minimum amount of transparency required on the upper stories of Facades with street frontage, measured per story or per Facade, depending on the Building Type.
 - (1) Buildings with Storefront and Shopfront Base Types are required to have a greater ground story Transparency on the front Facade, as defined in Section 50-22.3 Base Types.
 - b. Blank Wall Limitations. A restriction of the amount of windowless area permitted on a Facade with street frontage. If required, the following shall be met:
 - (1) No rectangular area greater than thirty (30) percent of a story's Facade, as measured from floor to floor, may be windowless; and
 - (2) No horizontal distance greater than fifteen (15) feet of a Story's Facade may be windowless.
2. Building Entrance.
 - a. Principal Entrance Location. The Facade on which the primary building entrance is to be located.
 - b. Street Facades: Number of Entrances. The maximum spacing between entrances on a building Facade with street frontage.
3. Balconies. The following requirements pertain to balconies on building Facades with street frontage.
 - a. Size. The minimum dimensions of a permitted balcony.
 - b. Facade Coverage. The percentage of a Facade's total area that may be covered by balconies, including street facing railing and balcony structure.
 - c. Access. The number of units that are permitted to gain entry to an individual balcony.
 - d. Structure. Requirements related to the construction of a balcony. Two types of balcony structures are permitted:
 - (1) Independently secured balconies are those that are connected directly to the building and are unconnected to other balconies.
 - (2) Balconies that are integral to the Facade are a part of, and built in conjunction with, the building structure.

E. Cap & Base Type Requirements.

1. Cap Type. The Cap Type(s) permitted for a given Building Type. Refer to 50-22.4 Cap Types for more specific requirements.
2. Tower. A vertical building extension that may be permitted in conjunction with another Cap Type on certain Building Types. Refer to 50-22.4(E) Cap Types.
3. Front Street Facade Base Type. The Base Type(s) required on the street-facing Facade of a given Building Type. Refer to 50-22.3 Base Types for more specific requirements.
4. Parking Lot Facade Base Type. (Optional Section) The Base Type(s) required on the Facade of a given Building Type that faces a parking lot. Refer to 50-22.3 Base Types for more specific requirements.

50-22. Building Type Standards

- F. **Façade Materials Requirements.** (Optional Section) The materials prohibited, required, and to be avoided for designated Facades.

50-22.6. Additional Development Standards.

The following provides additional required physical standards for the uses outlined as permitted in Chapter 3. Permitted Uses.

A. **Automobile and Light Vehicle Repair and Service.**

1. Service Bays. Vehicular service bays, including garages and car wash bays, shall not be located on the front Façade.
2. Outdoor Activities. All repairs or washing activities must occur inside a structure.

B. **Filling Station: Fuel Pumps and Canopies.** Refer to Figure 50-22.6(B).

1. Fuel pumps are permitted in the side or rear yards.
2. If lot containing fuel pumps is adjacent to any residential district, the boundary with those districts shall be buffered through the use of Screen X, per the Landscape Standards (*to be drafted in Module 3: Development Standards*).
3. Canopy roof structures shall match the roof structure of the principal structure on the lot.
4. Canopy height shall not exceed the height of the principal structure on the lot.
5. Signage is not permitted on the canopy.

C. **Drive Through.** Refer to Figure 50-22.6(C).

1. The Drive Through shall be located on the side or rear façade.
2. When occurring adjacent to any residential district, the boundary with those districts shall be buffered through the use of Screen X, per the Landscape Standards (*to be drafted in Module 3: Development Standards*).

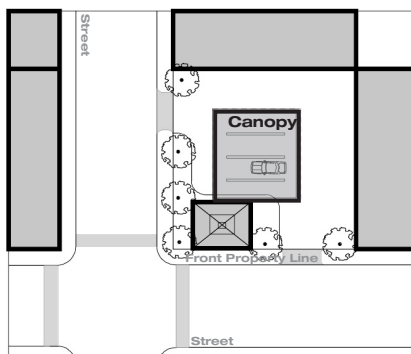


Figure 50-22.6(B). Relationship between the principal structure and the pump islands.

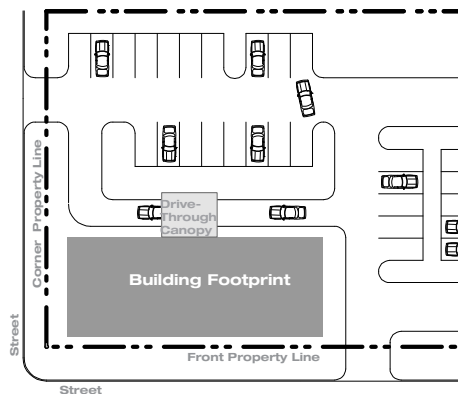


Figure 50-22.6(C). Drive Through.

- D. **Skywalks.** Skywalks over vehicular rights-of-way shall meet a minimum transparency requirement of seventy five (75) percent, between two (2) and ten (feet) as measured from the exterior bottom of the skywalk and on both sides of the skywalk. Skywalks require additional approvals per 50-X. Administration and Procedures (*to be determined with Module 4*).
- E. **Parking Structure.** Facades of parking structures visible from any public right-of-way shall meet the following requirements:
1. Vertical Expression Lines are required every sixty (60) feet.
 2. Ramped floors shall not be visible from the street. Garage openings shall be organized in

50-22. Building Type Standards

- stories. Story dimensions shall match adjacent buildings, measured between 9' to 14' floor to floor.
3. The street facing façade surface of the structure shall be articulated with the same level of detail and the same type of material as adjacent buildings. Brick masonry shall be the dominant surface material, occupying a minimum of fifty (50) percent of the street facing façade surface.
 4. Garage entries and exits shall be located on Secondary Streets.

50-22. Building Type Standards

Building Types Summary Table

	Street Frontage				Side & Rear Yard Setbacks		Buildable Area	
	Multiple Buildings Permitted on a Lot	Front Yard BTZ or setback (feet)	Corner Side Yard BTZ or setback (feet)	Minimum Coverage of Front Build-to-Zone	Minimum Side Yard Setback (feet)	Minimum Rear Yard Setback (feet)	Minimum Landscape Area	Minimum Lot Width (feet)
Main Street Building I	No	0-15	0-15	85%; BTZ may exclude permitted driveway	0	5	10%	30
Main Street Building II	No	0-5	0-5	95%	0	5	0%	20
Main Street Building III	No	0-5	0-5	95%	0	5	0%	20
Corridor Building I	Yes	5-15	5-15	75%	0	5	15%	30
Corridor Building II	Yes	0-15	0-15	75%	0	5	15%	50
Lakefront Corridor Building	Yes	0-25 BTZ on Lakefront; 0-15 BTZ along Canal Park Drive	0-15	33% on street face; 65% on Lakefront	20	Not applicable	20%	50
Corridor Building III	No	0-5	0-5	85%	0	5	0%	50
Cottage Commercial I	Yes	5-20	5-20	60%	5	5	20%	50
Cottage Commercial II	No	0-15	0-15	60%	0	5	20%	50
Iconic Building	Yes	5' Setback	5' Setback	Not applicable	5	5	20%	50

¹ Tower permitted for all Building Types

² 2 driveways may be permitted through [special exception] if frontage exceeds 200'

³ 15 Stories or 188' as measured from W Superior Street; Permitted from Mesaba Ave to N 4th Ave E

50-22. Building Type Standards

Building Types Summary Table

Parking & Access		Building Height		Transparency		Entrance	Cap & Base Types	
Location of Parking Facilities (yard)	Number of Permitted Driveways	Minimum Principal Building Height (stories)	Maximum Principal Building Height	Minimum Front & Corner Side Façade Transparency per Story	Blank Wall Limitations	Primary Entrance Location	Allowed Cap Types ¹	Allowed Base Types
Rear	1 driveway permitted per frontage ²	1	2.5 Stories and 37' along East Superior Street; 3 Stories and 45' along London Road	20%	Required	Front or Corner Side Façade	Parapet, Flat Roof, Pitched Roof	Storefront
Rear	If no alley exists, 1 driveway permitted per frontage ²	1	4 Stories and 55'	20%	Required	Front or Corner Side Façade	Parapet, Flat Roof, Pitched Roof	Arcade, Storefront
Rear	If no alley exists, 1 driveway permitted per frontage	1; 2 along Superior Street	6 Stories and 80'; 9 Stories and 116' on corner parcels only; 15 Stories and 188' along Superior Street ³	20%	Required	Front or Corner Side Façade	Parapet, Flat Roof	Arcade, Storefront
Rear, Single side aisle permitted	1 driveway permitted per frontage ²	1	3 Stories and 45'	20%	Required	Front or Corner Side Façade	Parapet, Flat Roof, Pitched Roof	Stoop, Porch
Rear	If no alley exists, 1 driveway permitted per frontage ²	1	4 Stories and 55'	20%	Required	Front or Corner Side Façade	Parapet, Flat Roof, Pitched Roof	Stoop, Porch
Must be screened from the Lakefront by building	If no alley exists, 1 driveway permitted per frontage ²	1	4 Stories and 55'	20%	Required	Visible from street	Parapet, Flat Roof, Pitched Roof	Stoop or Porch on Lake or parking lot face; Storefront or Stoop on street face
Rear	If no alley exists, 1 driveway permitted per frontage	1	6 Stories and 80'; 9 Stories and 116' on corner parcels only; 15 Stories and 188' along Superior Street ³	20%	Required	Front or Corner Side Façade	Parapet, Flat Roof	Stoop
Rear, Single side aisle permitted	1 driveway permitted per frontage ²	1	2.5 Stories and 33'	20%	Not required	Front or Corner Side Façade	Pitched Roof	Shopfront, Porch, Stoop
Rear	If no alley exists, 1 driveway permitted per frontage ²	1	2.5 Stories and 33'	20%	Not required	Front or Corner Side Façade	Pitched Roof	Shopfront, Porch, Stoop
Rear, Single side aisle permitted	1 driveway permitted per frontage ²	1	4 Stories and 55'	10%	Not required	Front or Corner Side Façade	Parapet, Flat Roof, Pitched Roof	Stoop

Table 50-22.2(A). Building Type Summary Table.

50-22. Building Type Standards

Main Street Building I

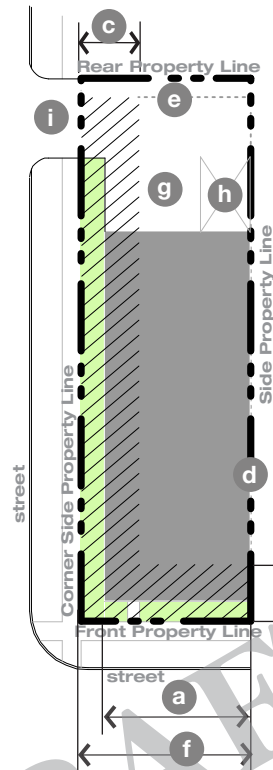


Figure 50-22.7(A): Building Siting.

A. Building Siting	
1. Street Frontage	
Multiple Principal Buildings	Not permitted
Front Build-to Zone Coverage	85%; BTZ may exclude permitted driveway a
Occupation of Corner	Required
Front BTZ	0' to 15' b
Corner BTZ	0' to 15' c
2. Buildable Area	
Side Yard Setback	0' d
Rear Yard Setback	5' e
Minimum Lot Width	30' f
Minimum Landscape Area	10%
3. Parking Lot, Loading & Access	
Parking Lot Location	Rear yard g
Loading Facility Location	Rear building façade h
Access	1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200' i

B. Height	
Minimum Overall Height	1 story j
Maximum Overall Height	2.5 stories and 37' along East Superior; 3 stories and 45' along London Road k
Ground Story: Minimum Height	15' l
Maximum Height ¹	24'
Upper Stories: Minimum Height	9' m
Maximum Height	14'

Notes:

¹ If 20' or more in height, ground story shall count as 2 stories towards maximum building height.

C. Uses	
Ground Story	Refer to Section 3. Permitted Uses n
Upper Story	Refer to Section 3. Permitted Uses o
Parking within Building	Permitted in the rear of the ground floor and fully in any other floor p
Occupied Space	30' depth space required on ground floor facing Primary Street

50-22. Building Type Standards

Main Street Building I

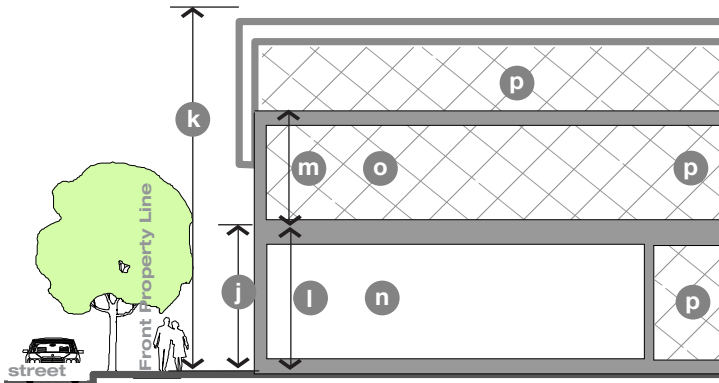


Figure 50-22.7(B): Height & Use Requirements.

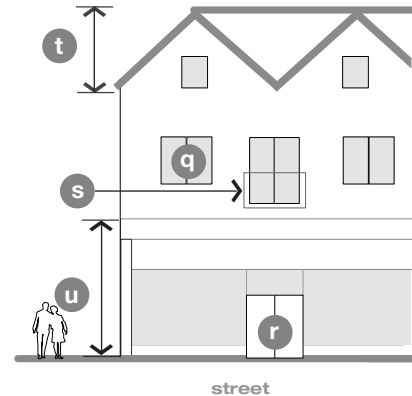


Figure 50-22.7(C): Facade Requirements.

D. Street Façade Requirements

1. Transparency		q
Minimum Transparency	20% per floor	
Blank Wall Limitations	Required	
2. Building Entrance		
Principal Entrance Location	Front or Corner Side Façade of building	r
Street Façades: Number of Entrances	1 per 75' of Front Façade	
3. Balconies		s
Size	Minimum 3' deep and 5' wide	
Façade Coverage	Maximum 30% of front & corner side façades, calculated separately	
Access to Balcony	Maximum one (1) dwelling unit	
Structure	Independently secured and unconnected to other balconies; or integral to the façade	

E. Cap & Base Type Requirements

Cap Type	Parapet, Flat Roof, Pitched Roof	t
Tower	Permitted	
Street Façade Base Type	Storefront	u

50-22. Building Type Standards

Main Street Building II

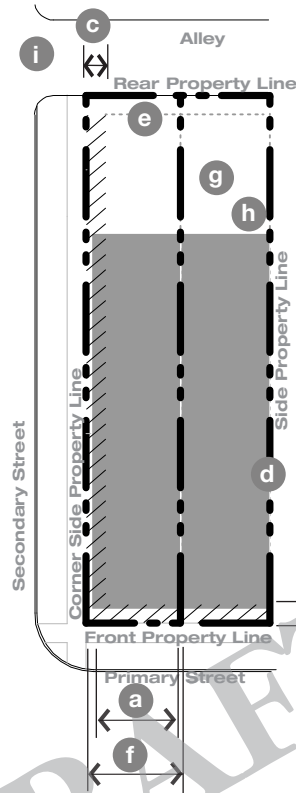


Figure 50-22.8(A): Building Siting.

A. Building Siting		B. Height	
1. Street Frontage		Minimum Overall Height	1 story (j)
Multiple Principal Buildings	Not permitted	Maximum Overall Height	4 stories and 55' (k)
Front Build-to Zone Coverage	95% (a)	Ground Story: Minimum Height	15' (l)
Occupation of Corner	Required	Maximum Height ¹	24' (m)
Front BTZ	0' to 5' (b)	Upper Stories: Minimum Height	9' (m)
Corner BTZ	0' to 5' (c)	Maximum Height	14'
2. Buildable Area		Notes:	
Side Yard Setback	0' (d)	¹ If 20' or more in height, ground story shall count as 2 stories towards maximum building height.	
Rear Yard Setback	5' (e)	C. Uses	
Minimum Lot Width	20' (f)	Ground Story	Refer to Section 3. Permitted Uses (n)
Minimum Landscape Area	0%	Upper Story	Refer to Section 3. Permitted Uses (o)
3. Parking Lot, Loading & Access		Parking within Building	Permitted in the rear of the ground floor and fully in any other floor (p)
Parking Lot Location	Rear yard (g)	Occupied Space	30' depth space required on ground floor facing Primary Street
Loading Facility Location	Rear building façade (h)		
Access	No driveway permitted if alley access is available; If no alley exists, 1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200' (i)		

50-22. Building Type Standards

Main Street Building II

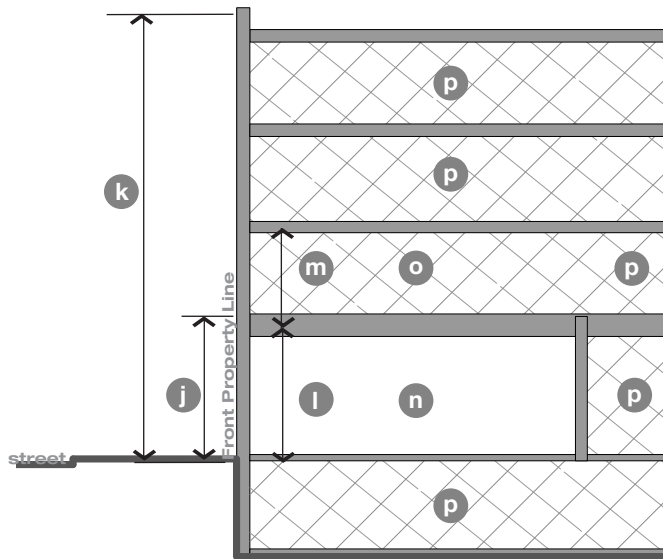


Figure 50-22.8(B): Height & Use Requirements.

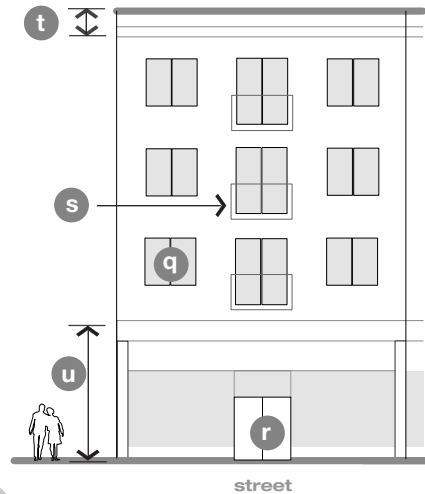


Figure 50-22.8(C): Facade Requirements.

D. Street Façade Requirements

1. Transparency (q)	
Minimum Transparency	20% per floor
Blank Wall Limitations	Required
2. Building Entrance	
Principal Entrance Location	Front or Corner Side Façade of building (r)
Street Façades: Number of Entrances	1 per 75' of Front Façade
3. Balconies (s)	
Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of front & corner side façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the façade

E. Cap & Base Type Requirements

Cap Type	Parapet, Flat Roof, Pitched Roof (t)
Tower	Permitted
Street Façade Base Type	Arcade, Storefront (u)

F. Façade Materials Requirements ²

Permitted Façade Materials	Durable, natural materials, such as stone, brick, stucco, metal, and concrete
Permitted Upper Story Façade Materials	Painted or Stained Wood
Required Materials	Minimum 60% masonry on each façade, red brick preferred
Materials to Avoid	Imitation materials intended to look like natural materials; Residential grade windows and doors on the ground story; painted brick or stone
Prohibited Materials on Façades	Concrete masonry units, utility or economy bricks more than 3" in height, untreated wood, and exterior insulation & finishing systems (EIFS)
Façade Colors	Historic Paint Palettes by any major brand, also on file at City Hall

Notes:

² Façade materials requirements apply only to the Canal Park area

50-22. Building Type Standards

Main Street Building III

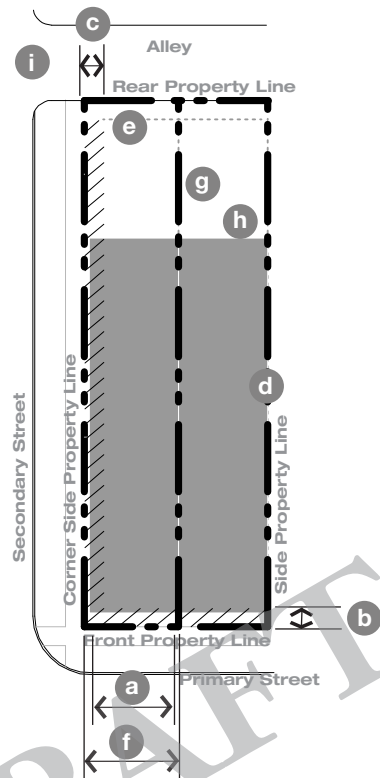


Figure 50-22.9(A) : Building Siting.

A. Building Siting		B. Height	
1. Street Frontage		Minimum Overall Height	1 story; 2 stories along Superior Street j
Multiple Principal Buildings	Not permitted	Maximum Overall Height	6 stories and 80'; 9 stories and 116' on all corner parcels except those on 2nd Street; 15 stories and 188' along Superior Street ^{1,2} k
Front Build-to Zone Coverage	95% a	Ground Story: Minimum Height	15' l
Occupation of Corner	Required	Maximum Height ³	24' m
Front BTZ	0' to 5' b	Upper Stories: Minimum Height	9' m
Corner BTZ	0' to 5' c	Maximum Height	14' m
2. Buildable Area		Notes:	
Side Yard Setback	0' d	¹ 15 Stories/188' height shall be measured from Superior Street	
Rear Yard Setback	5' e	² 15 Stories permitted from Mesaba Ave to N 4th Ave E on W Superior Street	
Minimum Lot Width	20' f	³ If 20' or more in height, ground story shall count as 2 stories towards maximum building height	
Minimum Landscape Area	0%	C. Uses	
3. Parking Lot, Loading & Access		Ground Story	Refer to Section 3. Permitted Uses n
Parking Lot Location	Rear yard g	Upper Story	Refer to Section 3. Permitted Uses o
Loading Facility Location	Rear building façade h	Parking within Building	Permitted in the rear of all floors and fully in any basement p
Access	No driveway permitted if alley access is available; If no alley exists, 1 driveway permitted per frontage i		

50-22. Building Type Standards

Main Street Building III

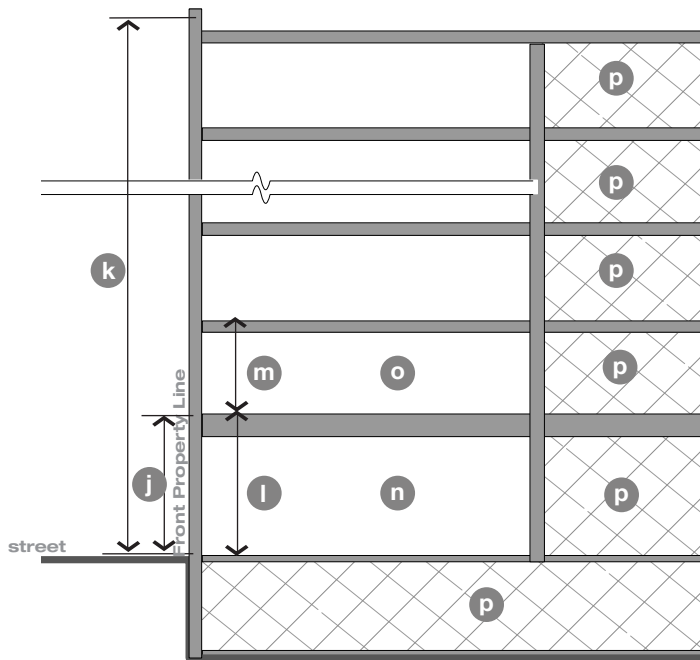


Figure 50-22.9(B): Height & Use Requirements.

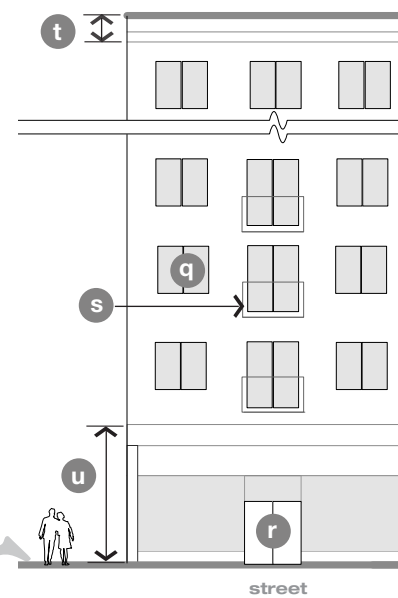


Figure 50-22.9(C): Facade Requirements.

Occupied Space	30' depth space required on all floors facing Primary Streets and on ground floor facing Secondary Streets
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D. Street Façade Requirements

1. Transparency (q)	
Minimum Transparency	20% per floor
Blank Wall Limitations	Required
2. Building Entrance	
Principal Entrance Location	Front or Corner Side Façade of building (r)
Street Façades: Number of Entrances	1 per 75' of Front Façade
3. Balconies (s)	
Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of front & corner side façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the façade

E. Cap & Base Type Requirements

Cap Type	Parapet, Flat Roof (t)
Tower	Permitted
Street Façade Base Type	Arcade, Storefront (u)

50-22. Building Type Standards

Corridor Building I

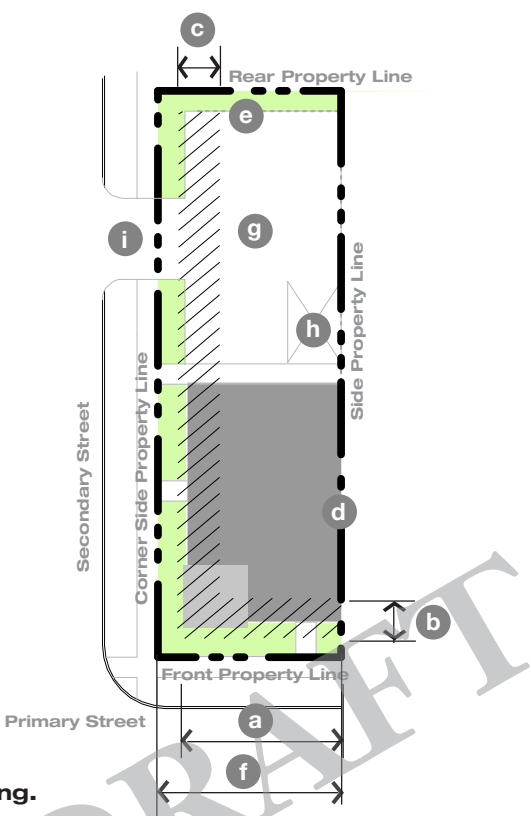


Figure 50-22.10(A): Building Siting.

A. Building Siting		
1. Street Frontage		
Multiple Principal Buildings	Permitted	
Front Build-to Zone Coverage	75%	a
Occupation of Corner	Required	
Front BTZ	5' to 15'	b
Corner BTZ	5' to 15'	c
2. Buildable Area		
Side Yard Setback	0'	d
Rear Yard Setback	5'	e
Minimum Lot Width	30'	f
Minimum Landscape Area	15%	
3. Parking Lot, Loading & Access		
Parking Lot Location	Rear yard; Single aisle permitted in side yard	g
Loading Facility Location	Rear building façade	h
Access	1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200'	i

B. Height		
Minimum Overall Height	1 story	j
Maximum Overall Height	3 stories and 45'	k
Ground Story: Minimum Height	15'	
Maximum Height ¹	24'	l
Upper Stories: Minimum Height	9'	
Maximum Height	14'	m

Notes:

¹ If 20' or more in height, ground story shall count as 2 stories towards maximum building height.

C. Uses		
Ground Story	Refer to Section 3. Permitted Uses	n
Upper Story	Refer to Section 3. Permitted Uses	o
Parking within Building	Permitted in the rear of the ground floor and fully in any other floor	p
Occupied Space	30' depth space required on ground floor facing Primary Street	

50-22. Building Type Standards

Corridor Building I

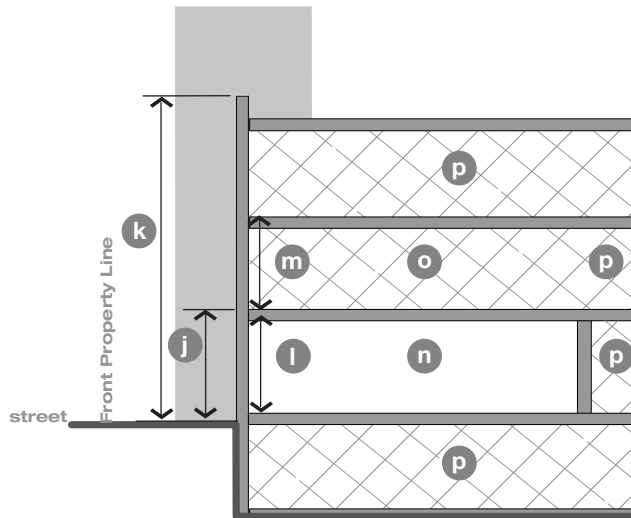


Figure 50-22.10(B): Height & Use Requirements.

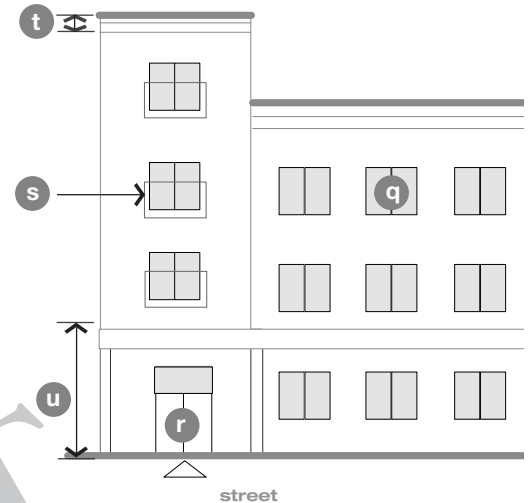


Figure 50-22.10(C): Facade Requirements.

D. Street Façade Requirements

1. Transparency		q
Minimum Transparency	20% per floor	
Blank Wall Limitations	Required	
2. Building Entrance		
Principal Entrance Location	Front or Corner Side Façade of building	r
Street Façades: Number of Entrances	1 per 75' of Front Façade	
3. Balconies		s
Size	Minimum 3' deep and 5' wide	
Façade Coverage	Maximum 30% of front & corner side façades, calculated separately	
Access to Balcony	Maximum one (1) dwelling unit	
Structure	Independently secured and unconnected to other balconies; or integral to the façade	

E. Cap & Base Type Requirements

Cap Type	Parapet, Flat Roof, Pitched Roof	t
Tower	Permitted	
Street Façade Base Type	Stoop, Porch ²	u

Notes:

² Porch, Stoop, or stairs may encroach to within 2' of the property line

50-22. Building Type Standards

Corridor Building II

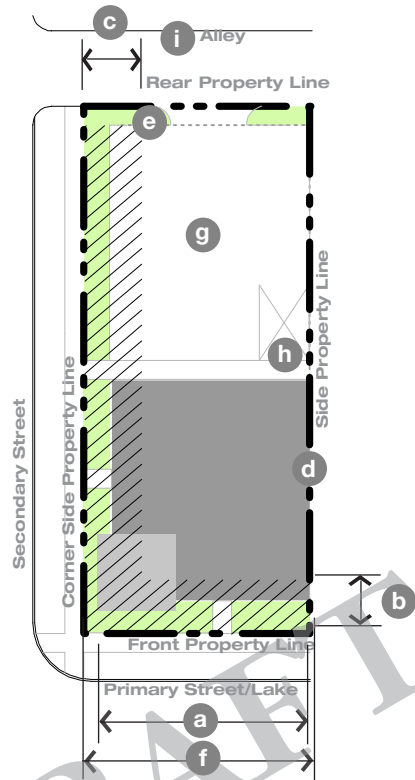


Figure 50-22.11(A): Building Siting.

A. Building Siting		B. Height	
1. Street Frontage		Minimum Overall Height	1 story (j)
Multiple Principal Buildings	Permitted	Maximum Overall Height	4 stories and 55' (k)
Front Build-to Zone Coverage	75% (a)	Ground Story: Minimum Height	15' (l)
Occupation of Corner	Required	Maximum Height ¹	24' (m)
Front BTZ	0' to 15' (b)	Upper Stories: Minimum Height	9' (m)
Corner BTZ	0' to 15' (c)	Maximum Height	14'
2. Buildable Area		Notes:	
Side Yard Setback	0' (d)	¹ If 20' or more in height, ground story shall count as 2 stories towards maximum building height.	
Rear Yard Setback	5' (e)	C. Uses	
Minimum Lot Width	50' (f)	Ground Story	Refer to Section 3. Permitted Uses (n)
Minimum Landscape Area	15%	Upper Story	Refer to Section 3. Permitted Uses (o)
3. Parking Lot, Loading & Access		Parking within Building	Permitted in the rear of the ground floor and fully in any other floor (p)
Parking Lot Location	Rear yard (g)	Occupied Space	30' depth space required on ground floor facing Primary Street
Loading Facility Location	Rear building façade (h)		
Access	No driveway permitted if alley access is available; If no alley exists, 1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200' (i)		

50-22. Building Type Standards

Corridor Building II

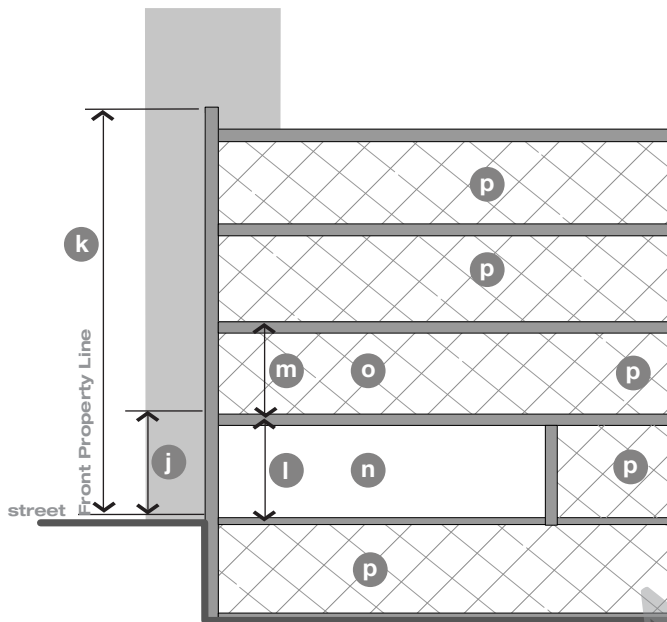


Figure 50-22.11(B): Height & Use Requirements.

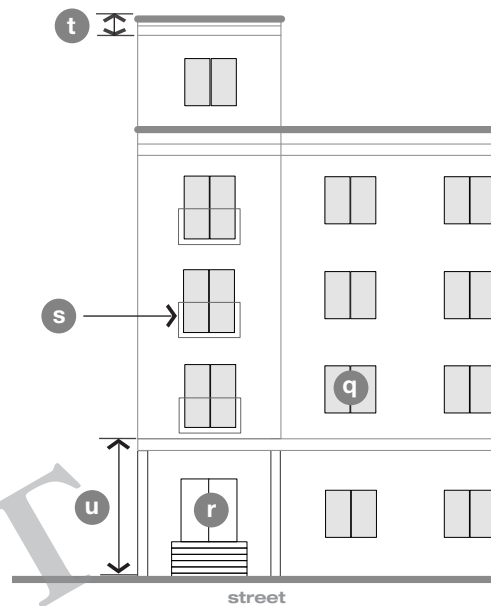


Figure 50-22.11(C): Facade Requirements.

D. Street Façade Requirements

1. Transparency (q)	
Minimum Transparency	20% per floor
Blank Wall Limitations	Required
2. Building Entrance	
Principal Entrance Location	Front or Corner Side Façade of building (r)
Street Façades: Number of Entrances	1 per 75' of Front Façade
3. Balconies (s)	
Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of front & corner side façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the façade

E. Cap & Base Type Requirements

Cap Type	Parapet, Flat Roof, Pitched Roof (t)
Tower	Permitted
Street Façade Base Type	Stoop, Porch (u)

F. Façade Materials Requirements ²

Permitted Façade Materials	Durable, natural materials, such as stone, brick, stucco, metal, and concrete
Permitted Upper Story Façade Materials	Painted or Stained Wood
Required Materials	Minimum 60% masonry on each façade, red brick preferred
Materials to Avoid	Imitation materials intended to look like natural materials; Residential grade windows and doors on the ground story; painted brick or stone
Prohibited Materials on Façades	Concrete masonry units, utility or economy bricks more than 3" in height, untreated wood, and exterior insulation & finishing systems (EIFS)
Façade Colors	Historic Paint Palettes by any major brand, also on file at City Hall

Notes:

² Façade materials requirements apply only to the Canal Park area

Lakefront Corridor Building

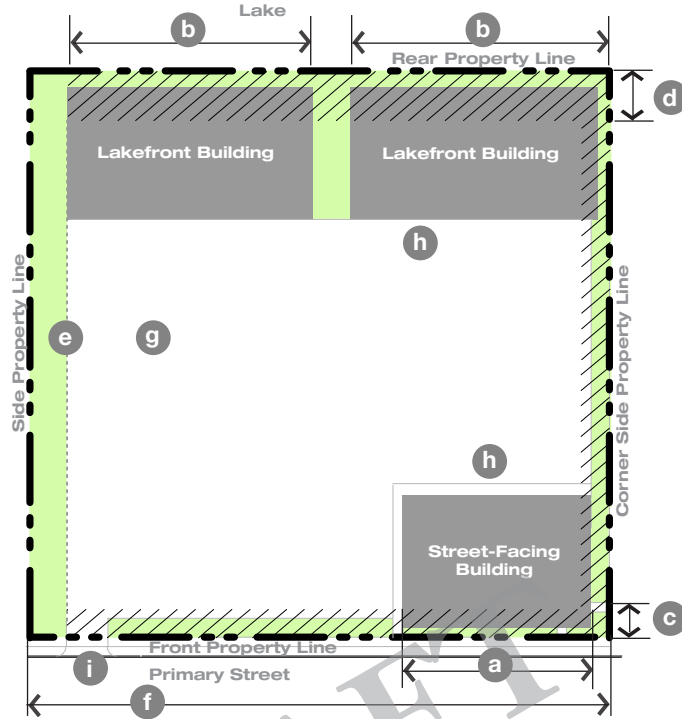


Figure 50-22.12(A): Building Siting.

A. Building Siting			Access	1 driveway permitted per every 140' of street frontage	i
1. Street & Lake Frontage					
Multiple Principal Buildings	Permitted		Notes: 1 Access easements are required at the terminus of any street with Canal Park Drive.		
Build-to Zone Coverage:					
Front & Corner BTZ on Street Face	33%	a			
Rear BTZ on Lakefront	65%	b			
Occupation of Corner	Required				
Build-to Zone:					
Front & Corner BTZ on Street Face	0-15'	c	Notes: 2 If 20' or more in height, ground story shall count as 2 stories towards maximum building height.		
Rear BTZ on Lakefront	0-25'	d			
2. Buildable Area					
Side Yard Setback	20'	e			
Rear Yard Setback	Not applicable				
Lakefront Access Easement	Minimum 50' wide easement from Canal Park Drive to the Lakewalk 1				
Minimum Lot Width	50'	f	Notes: 2 If 20' or more in height, ground story shall count as 2 stories towards maximum building height.		
Minimum Landscape Area	20%				
3. Parking Lot, Loading & Access					
Parking Lot Location	Must be screened from the Lakefront by building	g			
Loading Facility Location	Not permitted on Street or Lakefront Façades	h			

B. Height		
Minimum Overall Height	1 story	j
Maximum Overall Height	4 stories and 55'	k
Ground Story: Minimum Height	15'	l
Maximum Height 2	24'	
Upper Stories: Minimum Height	9'	m
Maximum Height	14'	

C. Uses		
Ground Story	Refer to Section 3. Permitted Uses	n
Upper Story	Refer to Section 3. Permitted Uses	o
Parking within Building	Permitted in the rear of all floors and fully in any basement	p
Occupied Space	30' depth space facing Primary Street or space on front façade	

50-22. Building Type Standards

Lakefront Corridor Building

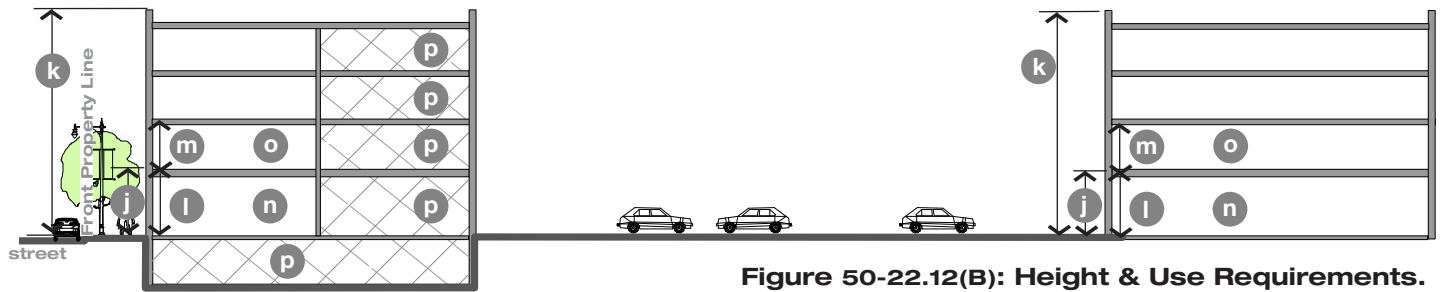


Figure 50-22.12(B): Height & Use Requirements.

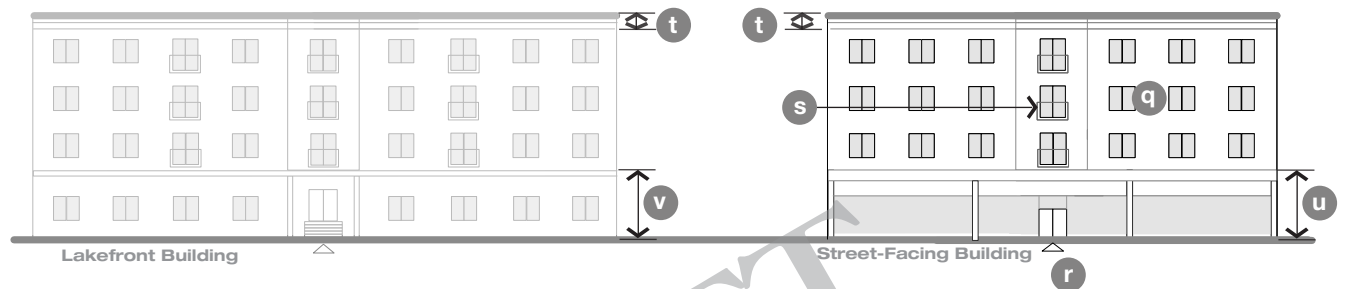


Figure 50-22.12(C): Facade Requirements.

D. Street, Lakefront, and Parking Lot Façade Requirements

1. Transparency (q)

Minimum Transparency	20% per floor
Blank Wall Limitations	Required only on Street and Lakefront Façades

2. Building Entrance

Principal Entrance Location	Visible from Street (r)
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Number of Entrances:

Street Façade	1 per 100' of Front Façade
Lakefront Façade	1 per 150' of Front Façade

3. Balconies (s)

Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of front & corner side façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the façade

E. Cap & Base Type Requirements

Cap Type	Parapet, Flat Roof, Pitched Roof (t)
Tower	Permitted
Street Façade Base Type	Storefront, Stoop (u)
Parking Lot Façade Base Type Visible from Street	Stoop, Porch (v)
Lakefront Façade Base Type	Stoop, Porch

F. Façade Materials Requirements

Permitted Façade Materials	Durable, natural materials, such as stone, brick, stucco, metal, and concrete
Permitted Upper Story Façade Materials	Painted or Stained Wood
Required Materials	Minimum 60% masonry on each façade, red brick preferred
Materials to Avoid	Imitation materials intended to look like natural materials; Residential grade windows and doors on the ground story; painted brick or stone
Prohibited Materials on Façades	Concrete masonry units, utility or economy bricks more than 3" in height, untreated wood, and exterior insulation & finishing systems (EIFS)
Façade Colors	Historic Paint Palettes by any major brand, also on file at City Hall

50-22. Building Type Standards

Corridor Building III

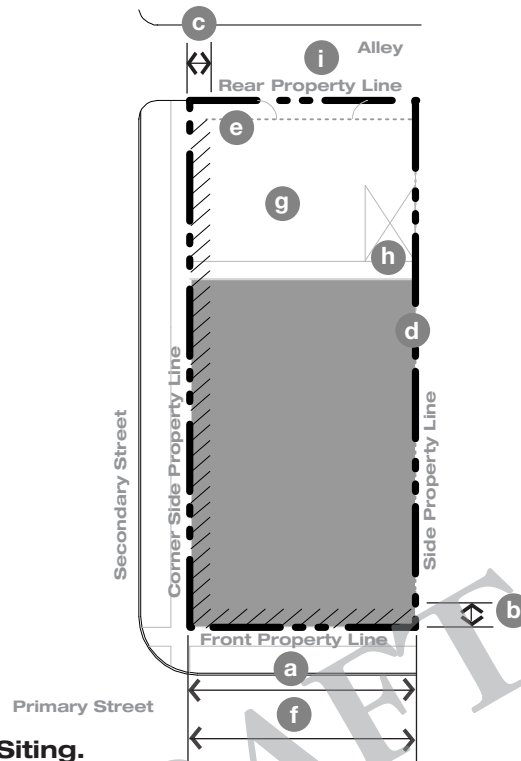


Figure 50-22.13(A): Building Siting.

A. Building Siting		B. Height	
1. Street Frontage		Minimum Overall Height	1 Story (j)
Multiple Principal Buildings	Not permitted	Maximum Overall Height	6 Stories and 80'; 9 Stories and 116' on corner parcels only; 15 Stories and 188' along Superior Street ^{1,2} (k)
Front Build-to Zone Coverage	85% (a)	Ground Story: Minimum Height	15' (l)
Occupation of Corner	Required	Maximum Height ³	24' (m)
Front BTZ	0' to 5' (b)	Upper Stories: Minimum Height	9' (n)
Corner BTZ	0' to 5' (c)	Maximum Height	14' (o)
2. Buildable Area		Notes:	
Side Yard Setback	0' (d)	¹ 15 Stories/188' height shall be measured from Superior Street	
Rear Yard Setback	5' (e)	² 15 Stories permitted from Mesaba Ave to N 4th Ave E on W Superior Street	
Minimum Lot Width	50' (f)	³ If 20' or more in height, Ground Story shall count as 2 Stories towards maximum building height.	
Minimum Landscape Area	0%	C. Uses	
3. Parking Lot, Loading & Access		Ground Story	Refer to Section 3. Permitted Uses (p)
Parking Lot Location	Rear Yard (g)	Upper Story	Refer to Section 3. Permitted Uses (q)
Loading Facility Location	Rear Building Façade (h)	Parking within Building	Permitted in the rear of all floors and fully in any basement (r)
Access	No driveway permitted if alley access is available; If no alley exists, 1 driveway permitted per frontage (i)		

50-22. Building Type Standards

Corridor Building III

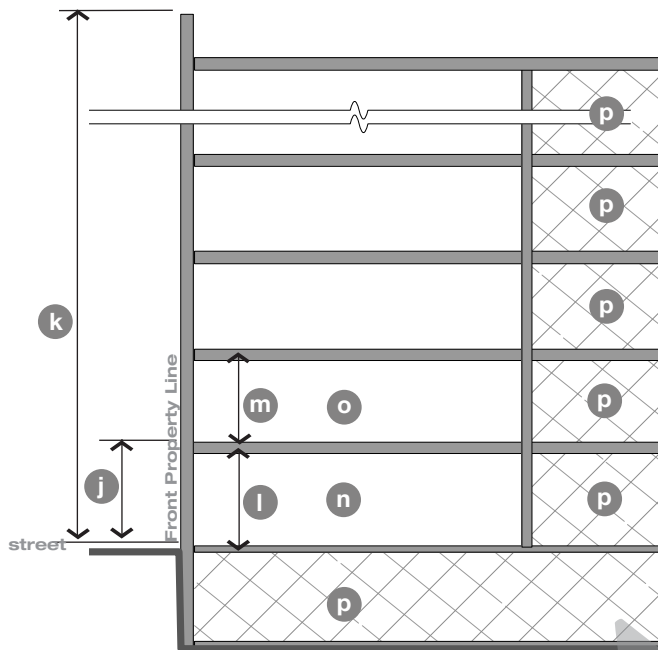


Figure 50-22.13(B): Height & Use Requirements.

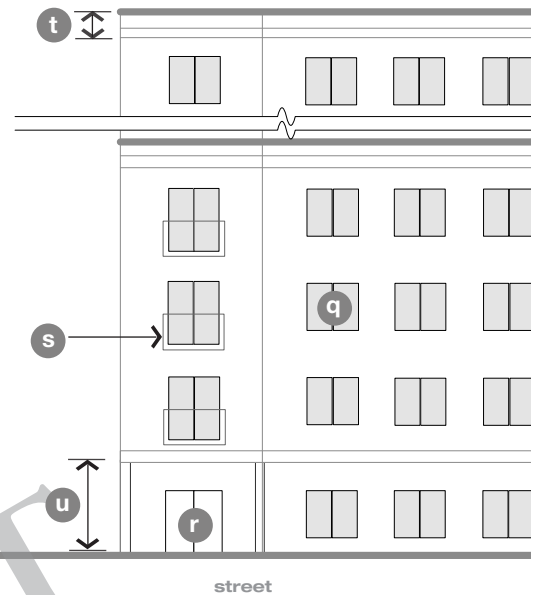


Figure 50-22.13(C): Facade Requirements.

Occupied Space	30' depth space required on all floors facing Primary Streets and on ground floor facing Secondary Streets
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Structure	Independently secured and unconnected to other balconies; or integral to the Façade
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D. Street Façade Requirements

1. Transparency	q
Minimum Transparency	20% per floor
Blank Wall Limitations	Required
2. Building Entrance	
Principal Entrance Location	Front or Corner Side Façade of Building r
Street Façades: Number of Entrances	1 per 75' of Front Façade
3. Balconies	s
Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of Front & Corner Side Façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit

E. Cap & Base Type Requirements

Cap Type	Parapet, Flat Roof t
Tower	Permitted
Street Façade Base Type	Stoop u

50-22. Building Type Standards

Cottage Commercial I

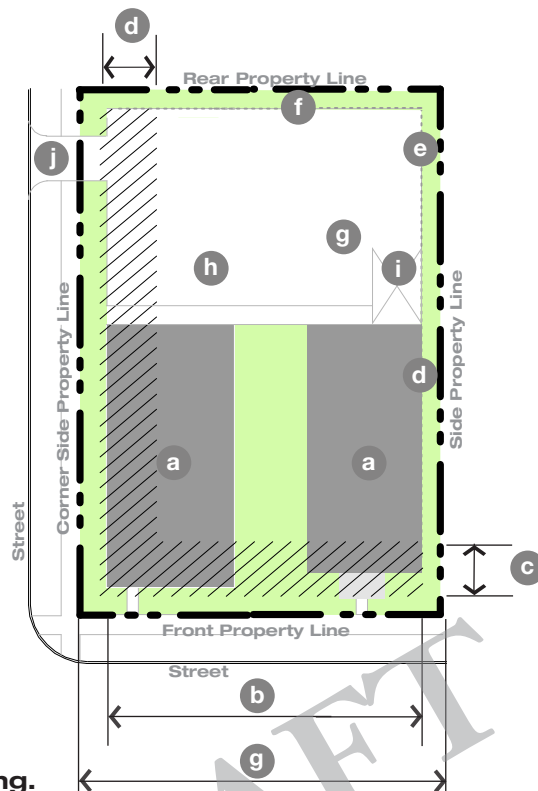


Figure 50-22.14(A): Building Siting.

A. Building Siting			B. Height		
1. Street Frontage			Minimum Overall Height	1 Story	k
Multiple Principal Buildings	Permitted ¹	a	Maximum Overall Height	2.5 Stories and 33'	l
Front Build-to Zone Coverage	60%	b	Ground Story: Minimum Height	15'	m
Occupation of Corner	Required		Maximum Height ²	24'	n
Front BTZ	5' to 20'	c	Upper Stories: Minimum Height	9'	
Corner BTZ	5' to 20'	d	Maximum Height	14'	
2. Buildable Area			Notes:		
Side Yard Setback	5'	e	² If 20' or more in height, Ground Story shall count as 2 Stories towards maximum building height.		
Rear Yard Setback	5'	f	C. Uses		
Minimum Lot Width	50'	g	Ground Story	Refer to Section 3. Permitted Uses	o
Minimum Landscape Area	20%		Upper Story	Refer to Section 3. Permitted Uses	p
3. Parking Lot, Loading & Access			Parking within Building	Permitted in the Rear of all Floors and fully in any Basement	q
Parking Lot Location	Rear Yard; Single side aisle permitted	h	Occupied Space	30' depth space facing Primary Street or space on front façade	
Loading Facility Location	Rear Building Façade	i			
Access	1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200'	j			

Notes:

¹ Each principal building shall have a width of less than 75' and meet the applicable requirements for the Building Type included in this Section.

50-22. Building Type Standards

Cottage Commercial I

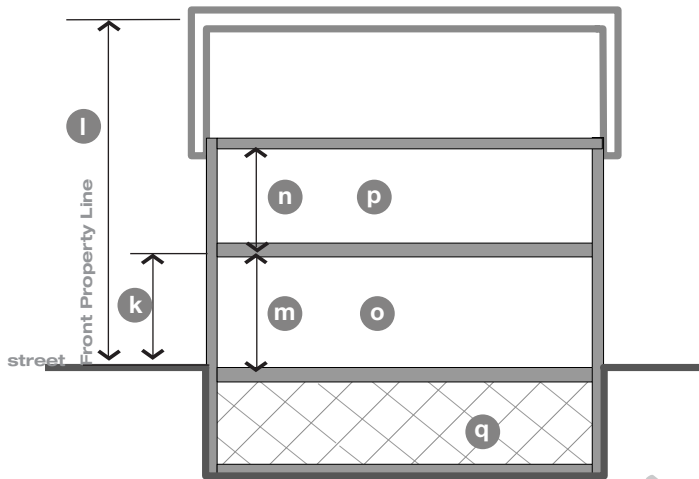


Figure 50-20.14(B): Height & Use Requirements.

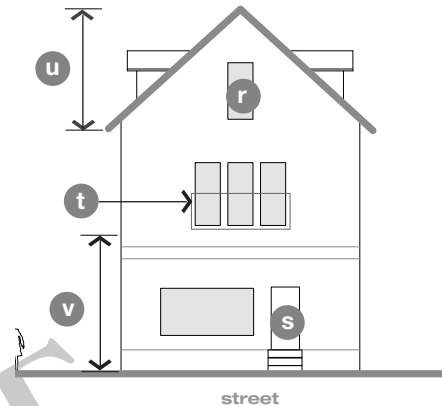


Figure 50-22.14(C): Facade Requirements.

D. Street Façade Requirements

1. Transparency r	
Minimum Transparency	20% per floor
Blank Wall Limitations	Required
2. Building Entrance s	
Principal Entrance Location	Front or Corner Side Façade of building
Street Façades: Number of Entrances	Not required
3. Balconies t	
Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of Front & Corner Side Façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the Façade

E. Cap & Base Type Requirements

Cap Type	Pitched Roof u
Tower	Permitted
Street Façade Base Type	Shopfront, Porch, Stoop ³ v
Notes:	
³ Porch, Stoop, or stairs may encroach to within 2' of the property line	

50-22. Building Type Standards

Cottage Commercial II

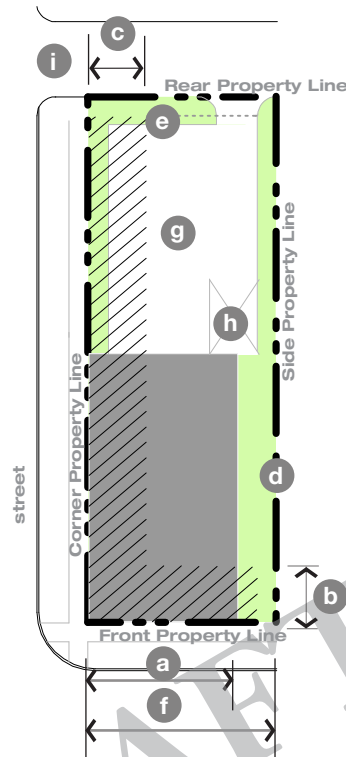


Figure 50-22.15(A): Building Siting.

A. Building Siting		B. Height	
1. Street Frontage		Minimum Overall Height	1 Story (j)
Multiple Principal Buildings	Not permitted	Maximum Overall Height	2.5 Stories and 33' (k)
Front Build-to Zone Coverage	60% (a)	Ground Story: Minimum Height	15' (l)
Occupation of Corner	Required	Maximum Height ¹	24' (m)
Front BTZ	0' to 15' (b)	Upper Stories: Minimum Height	9' (n)
Corner BTZ	0' to 15' (c)	Maximum Height	14' (o)
2. Buildable Area		Notes:	
Side Yard Setback	0' (d)	¹ If 20' or more in height, Ground Story shall count as 2 Stories towards maximum building height.	
Rear Yard Setback	5' (e)	C. Uses	
Minimum Lot Width	50' (f)	Ground Story	Refer to Section 3. Permitted Uses (p)
Minimum Landscape Area	20%	Upper Story	Refer to Section 3. Permitted Uses (q)
3. Parking Lot, Loading & Access		Parking within Building	Permitted in the Rear of all Floors and fully in any Basement (r)
Parking Lot Location	Rear Yard (g)	Occupied Space	30' depth space facing Primary Street or space on front façade
Loading Facility Location	Rear Building Façade (h)		
Access	No driveway permitted if alley access is available; If no alley exists, 1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200' (i)		

50-22. Building Type Standards

Cottage Commercial II

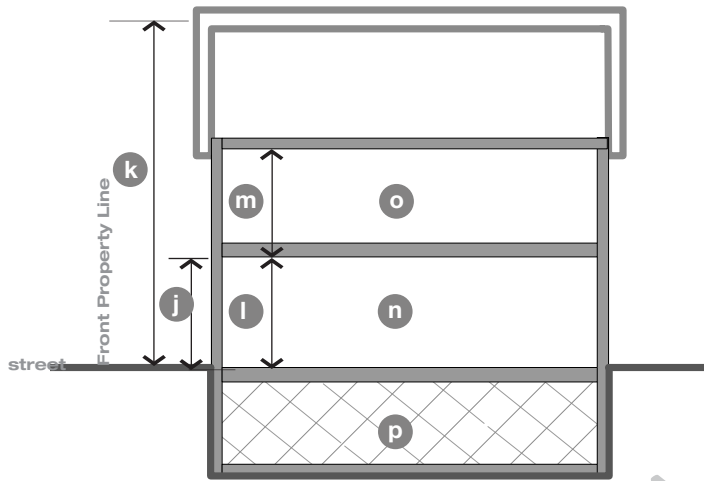


Figure 50-22.15(B): Height & Use Requirements.

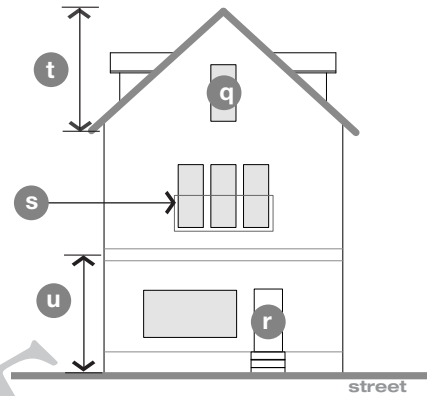


Figure 50-22.15(C): Facade Requirements.

D. Street Façade Requirements

1. Transparency (q)	
Minimum Transparency	20% per floor
Blank Wall Limitations	Required
2. Building Entrance	
Principal Entrance Location	Front or Corner Side Façade of Building (r)
Street Façades: Number of Entrances	Not required
3. Balconies (s)	
Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of Front & Corner Side Façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the Façade

E. Cap & Base Type Requirements

Cap Type	Pitched Roof (t)
Tower	Permitted
Street Façade Base Type	Shopfront, Porch, Stoop (u)

50-22. Building Type Standards

Iconic Building

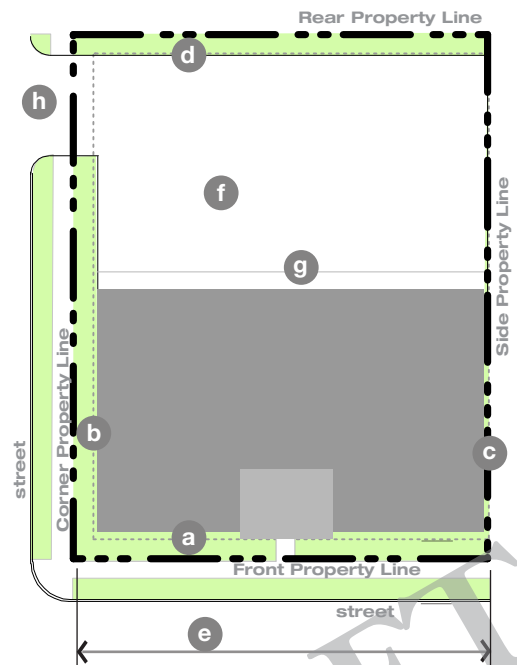


Figure 50-22.16(A): Building Siting.

A. Building Siting		B. Height	
1. Street Frontage		Minimum Overall Height	1 Story (i)
Multiple Principal Buildings	Permitted	Maximum Overall Height	4 Stories and 45' (j)
Front Build-to Zone Coverage	Not Applicable	Ground Story: Minimum Height	9' (k)
Occupation of Corner	Not required	Maximum Height ¹	30' (k)
Front Setback	5' (a)	Upper Stories: Minimum Height	9' (l)
Corner Setback	5' (b)	Maximum Height	14' (l)
2. Buildable Area		Notes:	
Side Yard Setback	5' (c)	¹ If 20' or more in height, Ground Story shall count as 2 Stories towards maximum building height.	
Rear Yard Setback	5' (d)	C. Uses	
Minimum Lot Width	50' (e)	Ground & Upper Stories	Only Civic, Institutional, Infrastructure, and Open Space and Recreation uses are permitted in the Iconic Building Type (see Section 3. Permitted Uses). (m)
Minimum Landscape Area	20%	Parking within Building	Permitted in the Rear of all Floors and fully in any Basement
3. Parking Lot, Loading & Access		Occupied Space	30' depth space facing Primary Street or space on front façade
Parking Lot Location	Rear Yard; Single aisle permitted in Side Yard (f)		
Loading Facility Location	Rear Building Façade (g)		
Access	1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200' (h)		

50-22. Building Type Standards

Iconic Building

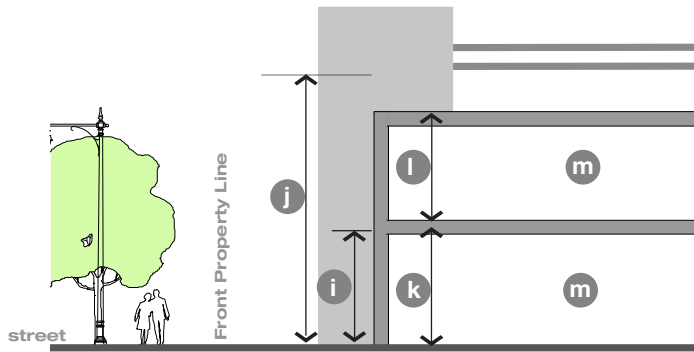


Figure 50-22.16(B): Height & Use Requirements.

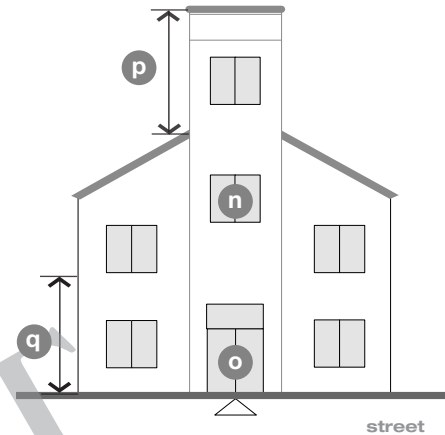


Figure 50-22.16(C): Facade Requirements.

D. Street Façade Requirements

1. Transparency		n
Minimum Transparency	20% per floor	
Blank Wall Limitations	Required	
2. Building Entrance		
Principal Entrance Location	Front or Corner Side Façade of Building	o
Street Facades: Number of Entrances	Not required	

E. Cap & Base Type Requirements

Cap Type ²	Parapet, Pitched Roof, Flat Roof	p
Tower	Permitted	
Street Façade Base Type	Stoop	q

Notes:

² Other cap types not listed here may be approved through a [special exception] (see Section XX)